

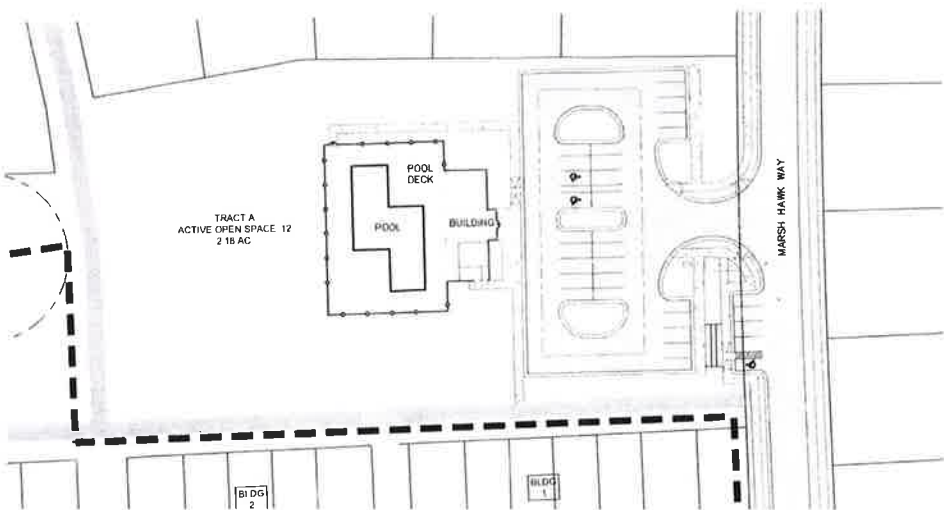
ELIZABETH SPRINGS

AMENITY CENTER SITE PLAN

TOWN OF ROLESVILLE
WAKE COUNTY, NC

DRAWING LIST	
C000	COVER
C101	EXISTING CONDITIONS
C300	SITE PLAN
C310	GRADING PLAN
C401	UTILITY PLAN
C450	LANDSCAPE PLAN
C801	WATER/SEWER/STORM DETAILS
C802	SITE/NC DOT DETAILS
C803	NC DOT DETAILS

PROJECT DATA	
BUILDING AREA	1,745 SQ. FT.
POOL AREA	2,100 SQ. FT.
POOL DECK AREA	5,071 SQ. FT.
IMPERVIOUS AREA	30,047 SQ. FT.



PROJECT PLAN
GRAPHIC SCALE
1 inch = 50 ft.

1/25 REGULAR SPACES

PARKING	REQUIRED	PROVIDED
REGULAR	26	26
ADA	2	2
TOTAL	28	28

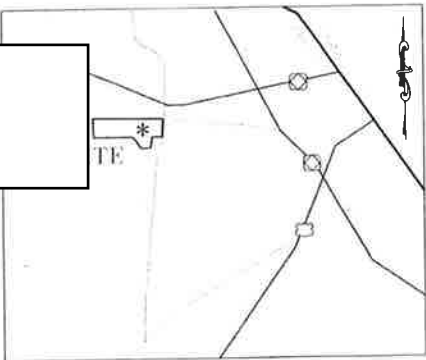
*H/C CAN BE INCORPORATED
INTO TOTAL REQ'D*

* PARKING IS BASED ON WAKE COUNTY UDO REQUIRING 1 SPOT PER 3 PERSONS AT DESIGN CAPACITY. DESIGN CAPACITY FOR THE POOL IS 81 PEOPLE.

*- WHAT IS DESIGN CAPACITY
BASED ON ?*

PARKING DESIGN CAPACITY HAS
BEEN UPDATED AND LABELED ON
DRAWING

REVISED. H/C HAS BEEN
INCORPORATED INTO TOTAL



VICINITY MAP
(NTS)

NOTE HAS BEEN ADDED TO
ADDRESS IMPERVIOUS
ALLOCATED

*Was ADDITIONAL IMPERVIOUS
ALLOCATED w/ ORIGINAL PERMIT?*

DEVELOPER:
EXPERIENCE ONE
3121 HIGHWAY 64
APEX, NC 27523

OWNER:
EXPERIENCE ONE
3121 HIGHWAY 64
APEX, NC 27523

SITE ADDRESS:
MARSHHAWK WAY
WAKE FOREST, NC 27587
WAKE COUNTY, NC

ENGINEER:
THOMAS S. SPEIGHT, JR., PE, PLS
BATEMAN CIVIL SURVEY COMPANY
2524 RELIANCE AVE.
APEX, NC 27539

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT	
APPROVED	
EROSION CONTROL	<input checked="" type="checkbox"/> S- EC-011532-2019
STORMWATER MGMT.	<input checked="" type="checkbox"/> S- WF-011530-2019
FLOOD STUDY	<input type="checkbox"/> S-
DATE	LAND DISTURBANCE PERMITTED IN TRACT A



Bateman Civil Survey Company

Engineers • Surveyors • Planners

2524 Reliance Avenue, Apex, North Carolina 27539

Phone: 919.577.1080 Fax: 919.577.1081

NCBELS FIRM No. C-2378

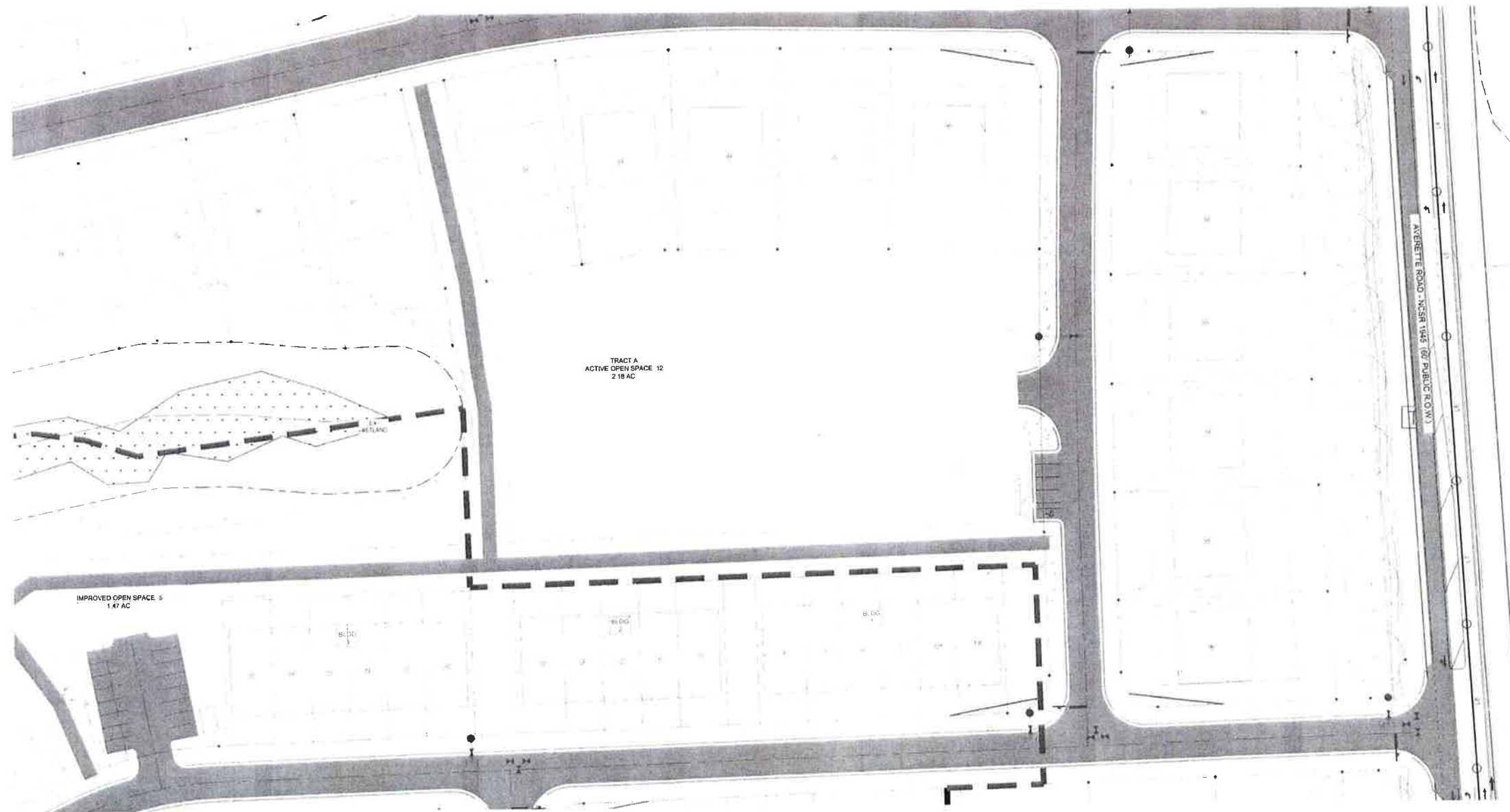
PROJECT NUMBER: 170348



KNOW WHAT IS BELOW
CALL BEFORE YOU DIG

PRELIMINARY
NOT RELEASED
FOR CONSTRUCTION
01/29/2020

C000 - COVER



LEGEND:

- EXISTING POND
- EXISTING WETLAND
- EXISTING WATERSHED (R-40W)
- EXISTING STREAM / TOP OF BANK
- EXISTING 50' NEUSE RIVER BASIN RIPARIAN BUFFER

EXISTING TRACT DATA:

DEVELOPER
EXPERIENCE ONE
3121 HIGHWAY 64
APEX, NC 27523
CONTACT NO. (919) 249-7008
NC PIN 1860-03-8619
DEED REFERENCE DB 017035, PG 01542
REAL ESTATE ID 0002813

TOTAL TRACT AREA 82.22 AC
AREA WITHIN ROW 0.61 AC
NEW TOTAL AREA 81.61 AC
ZONING R & PUD, R40W
EXISTING USE VACANT / UNDEVELOPED WOODS

OWNER
EXPERIENCE ONE
3121 HIGHWAY 64
APEX, NC 27523

NOTES

- PER FEMA MAPS 372018500J & 372018600J FOR NORTH CAROLINA THERE ARE NO FLOOD HAZARD AREAS WITHIN THE DEVELOPMENT BOUNDARIES
- EXISTING BOUNDARY TAKEN FROM A SURVEY BY BATEMAN CIVIL SURVEY COMPANY ON AUG 8 2017
- EXISTING TOPOGRAPHY DOWNLOADED FROM WAKE COUNTY GIS

ASSUMING AMENITY WILL BE
CONSTRUCTED AFTER ALL
STREETS & INFRASTRUCTURE
ARE IN? CORRECT
WHICH PHASE IS IT TO BE
CONSTRUCTED?

PRIOR TO PH2

PRELIMINARY
NOT RELEASED
FOR CONSTRUCTION

01/29/2020



KNOW WHAT IS BELOW
CALL BEFORE YOU DIG

1"=40'



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Phone 919.577.1080 Fax 919.577.1081
NCBELS FRM No C-2378



ELIZABETH SPRINGS
AMENITY CENTER
1205 AVERETTE ROAD
WAKE FOREST, NC 27587
WAKE COUNTY, NC

EXISTING CONDITIONS PLAN

Project Engineer	ISS
Designed By	WKB
Drawn By	WKB
Checked By	TSS
Scale	1"=40'
Date	01/29/2020
Project Number	170348

SHEET
C101

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYDOWN AREA, PERMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYDOWN AREA PERMETER FENCE AND ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.
2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL PROVIDE JOINTS IN WALKWAYS AND HARDSCAPE PER DETAILS OR AS INDICATED ON LANDSCAPE/HARDSCAPE PLAN SHEETS.
3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM MARSHHAWK WAY UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.
4. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
5. ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF CURB UNLESS OTHERWISE NOTED.
6. THIS SITE IS LOCATED IN THE NEUSE RIVER BASIN AND STREET DESIGNS MUST MEET TOWN OF ROLESVILLE REQUIREMENTS.
7. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.
8. ALL WRITTEN DIMENSIONS SHALL PREVAIL, DO NOT SCALE FROM DRAWINGS.
9. ALL UTILITIES WITH SURFACE ACCESS SHALL BE LOCATED WITHIN THE PAVING PATTERN AND SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. REFER TO LAYOUT DRAWINGS.
10. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
11. ALIGN ALL JOINTS, CORNERS, AND EDGES AS SHOWN.
12. CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION.
13. ALL CURB TAPERS ARE SIX (6') FEET LONG UNLESS OTHERWISE SHOWN ON PLAN.
14. WHERE NEW SIDEWALK ADJOINS EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING INTO THE FACE OF THE EXISTING WALK FOR PLACEMENT OF DOWELS. THE NEW SIDEWALKS INTO NEAREST EXISTING PAVEMENT JOINT; MATCH WIDTH OF EXISTING WALKWAY.
15. WHERE SIDEWALK OR WALKWAYS ARE ADJACENT TO PARKING SPACES THE WALKWAY SHALL BE A MINIMUM 6' WIDE AS MEASURED FROM THE FACE OF CURB.
16. MAXIMUM RUNNING SLOPE FOR WALKING SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPES CANNOT BE GREATER THAN 1:48. HANDICAP SPACES SURFACE SLOPES SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS.
17. SIGHT TRIANGLES - NOTHING OVER 30" HIGH SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLES.
18. THE SITE SHALL BE FULLY STABILIZED (90% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL.
19. HANDICAP RAMPS SHALL BE INSTALLED PER LATEST EDITION OF THE A.C. BUILDING CODE AND AND 119.11 WITH DETECTABLE WARNING DOMES WITH A COLOR CONTRAST OF 70% MINIMUM. SEE DETAILS AND GRADING SLOPE ELEVATIONS; IF THE EXISTING CONDITIONS PRECLUDE THE ABILITY TO PROVIDE A MAXIMUM SLOPE 1/12 FOR 6-FEET OR A MAXIMUM CROSS SLOPE OF 1:48 AND A 3% MINIMUM LANDING, THE CONTRACTOR SHALL NOTIFY ENGINEER OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
20. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CERTIFICATION MEMO TO NCDOT FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.
21. THE MAINTENANCE OF ALL REQUIRED LANDSCAPING BY KEEPING LAWNS MOWED, ALL PLANTS MAINTAINED AS DISEASE FREE, AND ALL PLANTING BEDS GROUNDED AND KEPT WEED FREE (EXCEPT IN AREAS OF PRESERVED EXISTING NATURAL VEGETATION (I.E. THICKETS), AND KEPT FREE FROM TRASH, DEBRIS AND OTHER OBJECTIONABLE MATERIALS; THE REPLACEMENT AND MAINTENANCE OF PLANTING IS REMOVED OR DIES AFTER THE DATE OF PLANTING, SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT PLANTING SEASON; AND, THE REPLACEMENT OF ANY TREE IN A TREE SAVE AREA, WHICH IS REMOVED OR DIES AFTER THE DATE OF PLANTING, SUCH REPLACEMENT LANDSCAPE PLAN, SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT PLANTING.

PROPOSED ASPHALT
PROPOSED SIDEWALK
PROPOSED EASEMENT
PROPOSED FENCE
PROPOSED STRIPING
PARKING COUNT

REV. NO.	DESCRIPTIONS
	REVISIONS

PARKING	REQUIRED	PROVIDED
REGULAR	26	26
ADA	2	2
TOTAL	28	28

SIGHT
TRIANGLE
ADDED

TRASH COLLECTION
WILL BE WHEELED TO
THE STREET AND HAS
BEEN SHOWN

MIN 5' MET
AND LABELED

RADIUS LABLED

FENCE
DETAIL HAS
BEEN ADDED

**CURB
RAMPS**

SIGHT
TRIANGLE
ADDED

MID-BLOCK
CROSSING
HAS BEEN
ADDED

COULD CREATE MID-BLOCK X-ING FROM LOTS ACROSS STREET - USE DOUBLE RAMPS IF THIS IS DECIDED

- DIRECTIONAL
RAMP PREFERENCE

MIN. 5'

ANY TRASH COLLECTION?

FENCE TYPE?
PETAR?

WHAT STYLE
RAMP?

SIGHT DISTANCE
TRIANGLES HAVE
BEEN ADDED

MAIL KIOSK HAS
BEEN MOVED



KNOW WHAT IS BELOW
CALL BEFORE YOU DIG

PRELIMINARY
NOT RELEASED
FOR CONSTRUCTION

01/29/2020

SHEET
C300

**LIZABETH SPRINGS
AMENITY CENTER**

SITE PLAN

Bateman Civil Survey Company
Engineers • Surveyors • Planners
2524 Reliance Avenue, Apex, North Carolina 27539
Phone: 919.577.1080 Fax: 919.577.1081
NCBELS FIRM NO. C-2378



GRADING & STORM DRAINAGE NOTES

1. REFER TO SHEET C3.00 FOR GENERAL NOTES
2. CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS
3. THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE PATHWAY SHALL NOT EXCEED 5.0% AND SHALL NOT EXCEED A 2.0% CROSS SLOPE. HANDICAP RAMPS INDICATED ON PLANS SHALL BE A MAXIMUM OF 1/12 SLOPES WITH A MAXIMUM RISE OF 30" BETWEEN LANDINGS. NON-CURB CUT RAMPS SHALL HAVE HANDRAILS AND GUARDS PER DETAILS WITH 5' LANDINGS AT THE BOTTOM AND TOP OF RAMP
4. ALL PROPOSED ELEVATIONS SHOWN ARE EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED
5. ALL AREAS WHERE UNPAVED AREAS SLOPE ONTO PAVED AREAS, A 2' WIDE FLAT AREA WITH A SLOPE OF 2% TOWARDS THE PAVED AREA SHALL BE PROVIDED TO PREVENT ORGANICS WASHOUT
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND RECEIVING STORM DRAINAGE SYSTEMS REMAIN CLEAN OF SEDIMENT AND DEBRIS. PRIOR TO OWNER ACCEPTANCE OF SYSTEM, THE CONTRACTOR SHALL COORDINATE AND PROVIDE A VISUAL OBSERVATION VIDEO OF ALL STORM DRAINAGE IMPROVEMENTS 12" AND LARGER. THE VISUAL OBSERVATION SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE TWO (2) DVD COPIES OF THE ENTIRE DRAINAGE VISUAL OBSERVATION
7. PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE VIDEO INSPECTION OF THE STORM SEWER SYSTEM. (BOTH PUBLIC AND PRIVATE). THIS SUBMITTAL MAY NEED TO BE REVIEWED AND ACCEPTED BY THE LOCAL JURISDICTION PRIOR TO THE ISSUANCE OF THE BUILDING CO.
8. REFER TO THE EROSION CONTROL DETAILS SHEET FOR THE SEQUENCE OF CONSTRUCTION
9. INTERIM GRADING SHALL BE PROVIDED THAT ENSURES THE PROTECTION OF STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, AND WASHOUT
10. INTERIM GRADING SHALL BE PROVIDED TO DIRECT WATER AWAY FROM BUILDINGS AND PREVENT PONDING
11. MAXIMUM SLOPE ACROSS ANY HANDICAPPED PARKING SPACE AND AISLE SHALL NOT EXCEED 2% IN ANY DIRECTION
12. PROPOSED CONTOURS ARE APPROXIMATE. SPOT ELEVATIONS AND ROADWAY PROFILES SHALL BE USED IN CASE OF DISCREPANCY
13. PLACE BACKFILL AND FILL MATERIALS IN LAYER NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. PLACE BACKFILL AND FILL MATERIALS EVENLY ON ALL SIDES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE. COMPACT SOIL TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL UP TO TWO FEET OF FINISHED GRADE. COMPACT SOIL TO NOT LESS THAN 98 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL FOR THE FINAL TWO FEET
14. SITE GRADING IMMEDIATELY ADJACENT TO FOUNDATION OF BUILDING SHALL SLOPE NOT LESS THAN 1/20 AWAY FOR MINIMUM DISTANCE OF 10 FEET. ALTERNATIVE METHOD SHALL BE PROVIDED TO DIVERT WATER AWAY FROM FOUNDATION VIA SWALES SLOPED AT A MINIMUM OF 2% OR IMPERVIOUS SURFACES SLOPED AWAY A MINIMUM OF 2% AWAY FROM BUILDING
15. CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES
16. CONTRACTOR SHALL SLOPE GRADES TO ASSURE POSITIVE STORMWATER FLOW TO KEEP WATER FROM POOLING ALONG CURBS AND WALLS
17. ALL SPOTS IN PAVED CURB AREAS DENOTE ELEVATION OF BOTTOM OF CURB

LABLING HAS BEEN CLEANED UP

LABLING HAS BEEN CLEANED UP

RIM AND INV ELEVATIONS HAVE BEEN LABLED

LABLING HAS BEEN ADDED

GRADING HAS BEEN REVISED PER REQUEST

HAS BEEN INCLUDED ON THIS SHEET

INCLUDE SHEET REFERENCE OR NEXT SHEET
- INCLUDE BRIEF SEQUENCE

- WHERE WILL POOL DECK DRAINAGE BE CONVEYED?
- WHERE WILL AWNING DRAINAGE CONVEY?

DRAINAGE WILL BE DIRECTED TO A TRENCH DRAIN AND TAKEN TO THE STORM SYSTEM, 458-CB

IS THIS GIS TOPO?
HAVE ELEVATIONS BEEN CONFIRMED?

WILL STORM BE EXISTING?
HAS PIPE INCORPORATED AMENITY FLOWS?

EXISTING STORM HAS BEEN GRAYED BACK, NEW STORM IS DARK

ELEVATIONS CONFIRMED BY SURVEY AND NOTED ON SHEET

EXISTING MAJOR CONTOURS
EXISTING MINOR CONTOURS
PROPOSED MAJOR CONTOURS
PROPOSED MINOR CONTOURS
TOUR LABEL
ACCESSIBLE PATH

KNOW
CALL BEFORE YOU DIG
1"=20'

PRELIMINARY
NOT RELEASED FOR CONSTRUCTION
12/07/2018

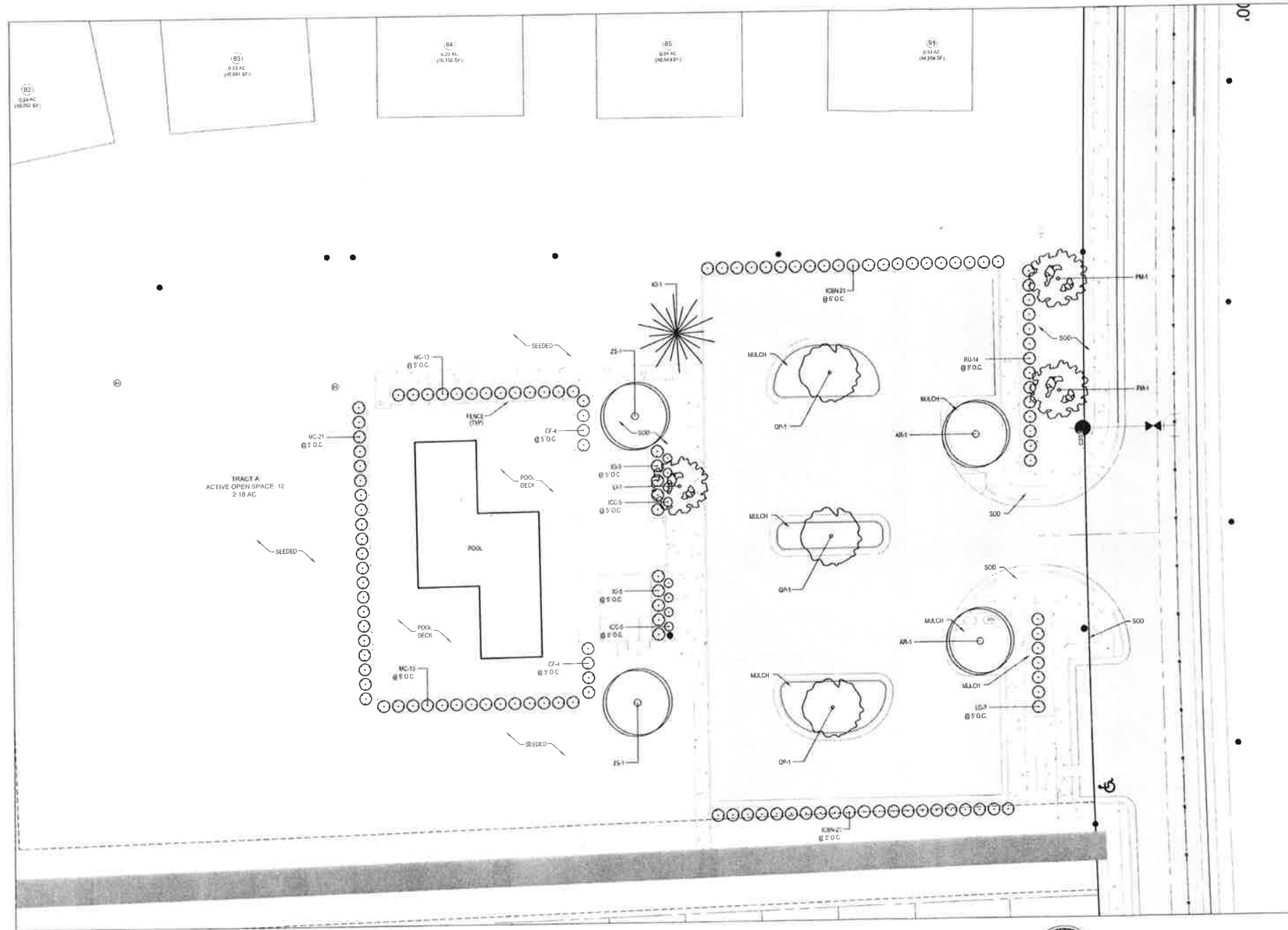
Project Engineer TSS
Designed By WKB
Drawn By WKB
Checked By TSS
Scale 1/8"=1'-0"
Date 01/29/2020
Project Number 170348

SHEET
C310

ELIZABETH SPRINGS
AMENITY CENTER
1205 AVERETTE ROAD
WAKE FOREST, NC 27567
WAKE COUNTY, NC

Bateman Civil Survey Company
Engineers • Surveyors • Planners
2524 Reliance Avenue, Apex, North Carolina 27539
Phone 919.577.1080 Fax 919.577.1081
NCBELS FIRM No. C-2378





LANDSCAPE PLANTING NOTES

1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY. ALL GENERAL NOTES AND GENERAL CONSTRUCTION NOTES APPLY.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITY TAKE-OFFS AND VERIFICATION OF MATERIALS AS SHOWN ON THESE PLANS AND IN WRITTEN SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.
3. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING AND PROPOSED UNDERGROUND UTILITIES PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
4. ALL LANDSCAPE MATERIALS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INCLUDING THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
5. PRIOR TO THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL PROPERLY BACKFILL ALL PLANT MATERIAL THAT HAS BEEN PLACED IN PREPARED HOLES, AND PROPERLY WATER AND MULCH ALL PREPARED GROUNDCOVER, PERENNIAL AND ANNUAL BEDS.
6. ALL TREES AND SHRUBS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
7. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED BY HAND PRIOR TO PLACEMENT AND BACK FILLING WITH PREPARED SOILS. HAND TOOLS ARE NOT TO BE USED TO SCARIFY ROOT BALLS.
8. ALL ROPE AND WRAPPING TWINE SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PARTS OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM PLANT BALLS PRIOR TO BACKFILLING.
9. ALL PLANTING AREAS SHALL BE EDGED WITH SMOOTH, CONTINUOUS CURVES. PINE STRAW MULCH, IF SPECIFIED, SHALL BE ROLLED AND TUCKED ALONG PLANT BED EDGE.
10. ALL PLANT MATERIAL SHALL BE PLANTED AT HEIGHTS AS ILLUSTRATED IN THE PLANTING DETAILS & PLANT LIST.
11. TREE STAKING AND GUYING, IF NECESSARY, SHALL BE PERFORMED WITHIN A WEEK OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE STAKING MATERIAL AFTER THE FIRST FULL GROWING SEASON OR ONE YEAR, WHICHEVER COMES FIRST.
12. B & B AS LISTED UNDER "ROOT" IN THE PLANT LIST INDICATES BALLED AND BURLAPPED.
13. ALL PLANT BEDS AND RAISED SAUCER RINGS SHALL BE GRADED TO PROVIDE ADEQUATE DRAINAGE AND SHALL BE MULCHED AS SPECIFIED.

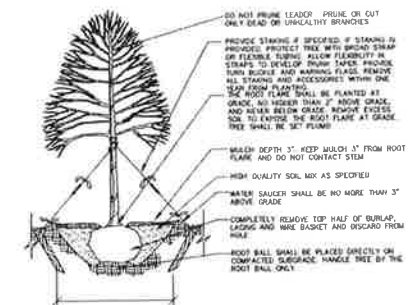
TOWN OF ROLESVILLE LANDSCAPE REQUIREMENTS

VEHICULAR USE AREA LANDSCAPING

- REQUIRED/PROVIDED: 1 LARGE (2.5" CAL) TREE WITHIN 60 LF OF EACH PARKING SPACE
REQUIRED/PROVIDED: SCREEN FROM OFFSITE VIEWS WITH A CONTINUOUS 3' HGT EVERGREEN HEDGE, SHRUBS
SHALL BE 24" HGT / 3 GAL SIZE AT INSTALLATION

LANDSCAPE SCHEDULE

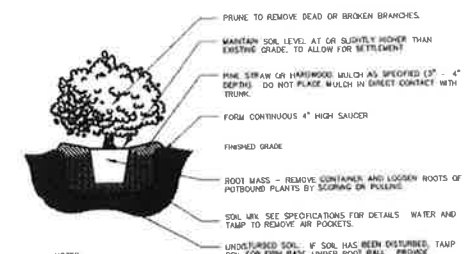
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
CANOPY / UNDERSTORY TREES(S)					
ZS	2	ZELKOVA SERATTA 'VILLAGE GREEN'	JAPANESE ZELKOVA	2" CAL, 8'-10' H	
AR	2	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	2" CAL, 8'-10' H	
OP	3	QUERCUS PHellos 'HIGHTOWER'	WILLOW OAK	2" CAL, 8'-10' H	
IO	1	ILEX OPACA	AMERICAN HOLLY	8'-10' H	
LI	1	LAZERSTROMIA INDICA 'CHEROCHEE CHIEF'	CREPE MYRTLE	8'-10' H	3-5 STEMS
PM	2	PRUNUS MUME 'PEGGY CLARKE'	WILLOW OAK	2" CAL, 8'-10' H	
CF	8	CALYCANTHUS FLORIDUS	SWEEP SHRUB	24"	
RU	14	RAPHANISTRUM UMBELLATA	INDIA HAWTHORNE	24"	
LC	7	LOROPETALUM CHINENSIS	LOROPETALUM	24"	
ICBN	42	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	24"	
IG	10	ILEX GLABERRA	INKBERRY HOLLY	24"	
ICC	8	ILEX CORNUTA CONVEXA	CHINESE HOLLY	24"	
ME	47	MYRTICA CERIFERA	WAX MYRTLE	36"	



3 X
ROOTBALL DIAMETER

DECIDUOUS TREE PLANTING

NOT TO SCALE



NOTES:

1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY.
2. REMOVE ALL TAGS, TWINE OR OTHER NON-Biodegradable MATERIALS ATTACHED TO PLANT OR ROOT MASS.

SHRUB PLANTING

NOT TO SCALE

Village Green
Land Design

CARY, NC 27511
P: 919.624-4468

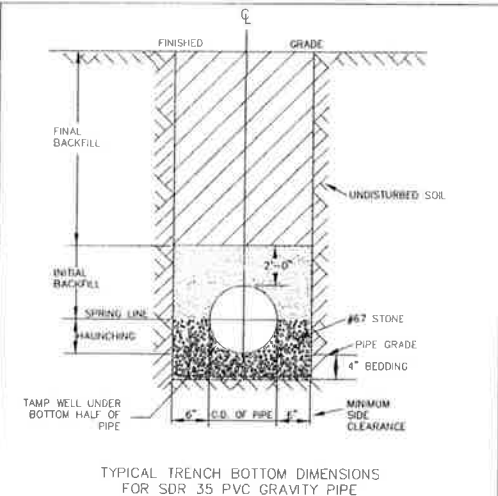
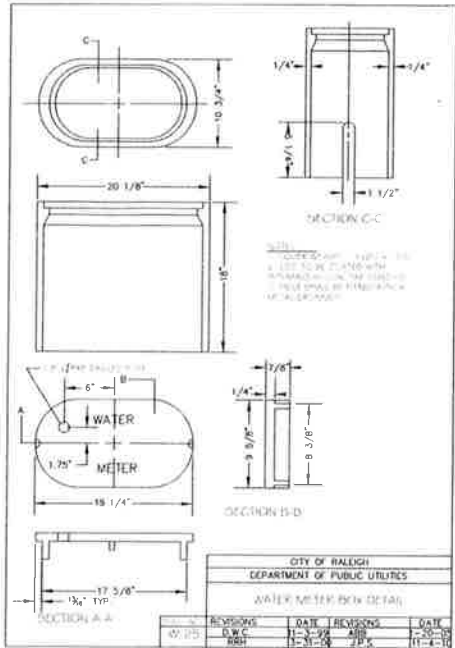
ELIZABETH HEIGHTS
SUBDIVISION
AMENITY CENTER
CONSTRUCTION DRAWINGS
ROLESVILLE, NC

SUBMITTAL: DRAWN BY: CHECKED BY: DATE: SEALED BY:

1ST SUBMITTAL TMB TMB 2020.01.23



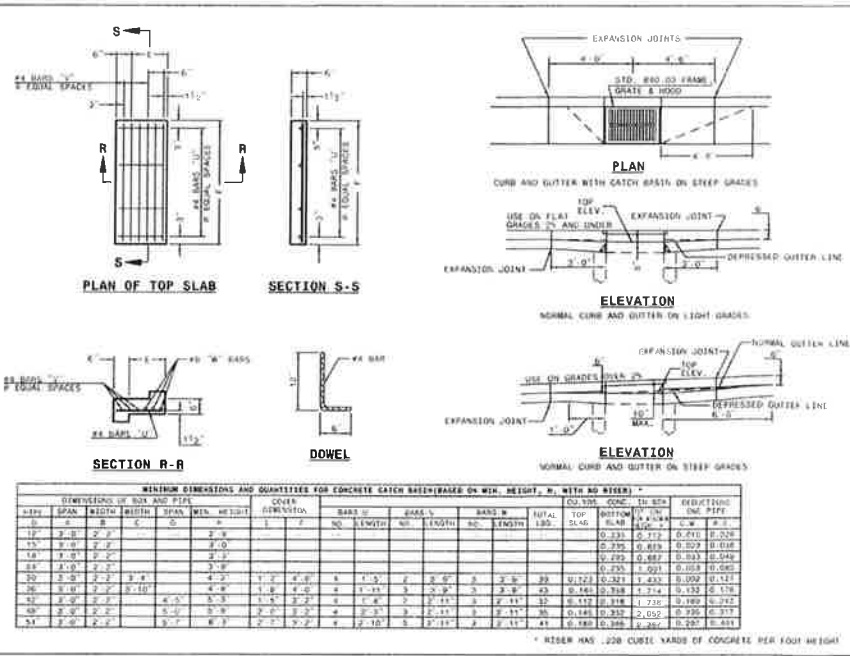
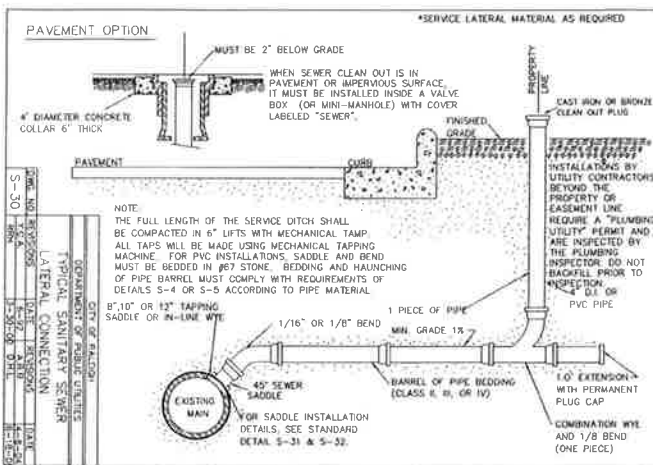
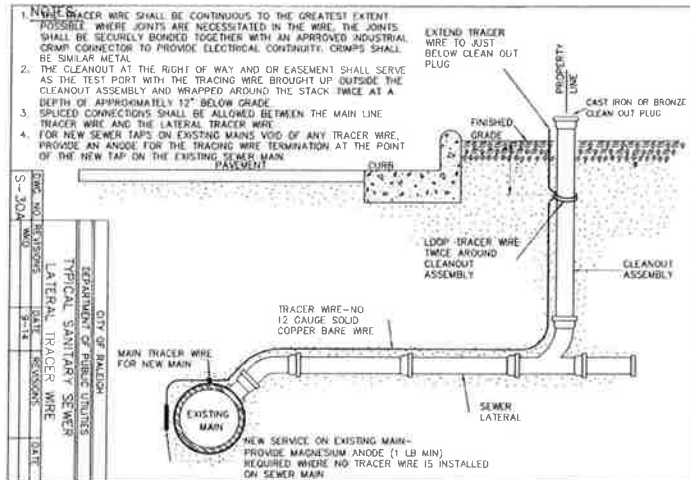
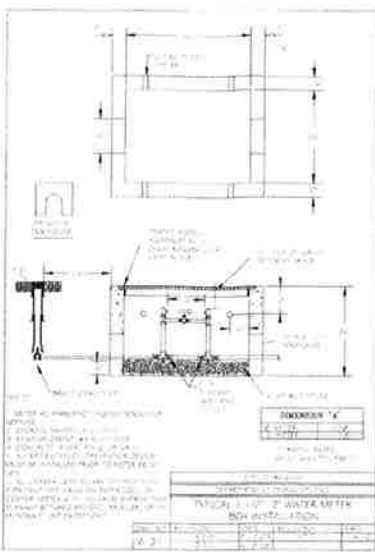
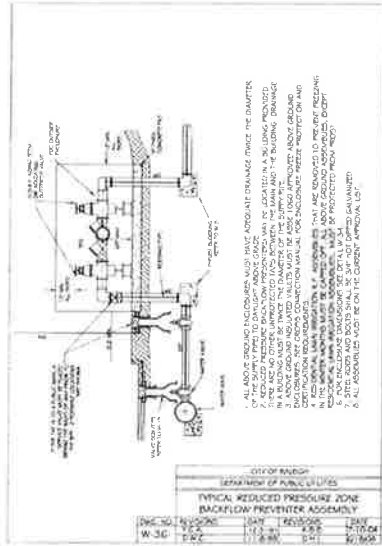
C450



NOTES:

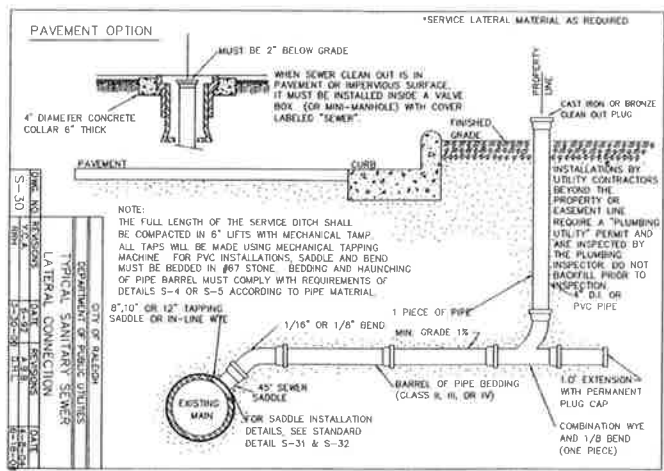
- FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
- NO ROCKS OR BOULDERS 4\"/>

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES			
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-5	NO NOTES	1-1-81	W.C.
		7-2-82	RRH
		3-3-93	
		3-30-00	



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE CATCH BASIN
12\"/>



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Phone 919.577.1080 Fax 919.677.1081
NCBELS FIRM No. C-2378



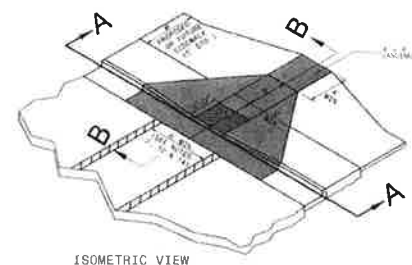
ELIZABETH SPRINGS
CONSTRUCTION DRAWINGS
1205 AVERETTE ROAD
WAKE FOREST, NC 27787
WAKE COUNTY, NC

WATER/SEWER/STORM DETAILS

Project Engineer	TSS
Designed By	WKB
Drawn By	WKB
Checked By	TSS
Scale	N.T.S.
Date	01/29/2020
Project Number	176348
SHEET	C801

PRELIMINARY
NOT RELEASED
FOR CONSTRUCTION
01/29/2020

ELIZABETH SPRINGS

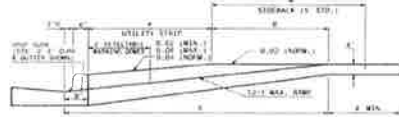


ISOMETRIC VIEW

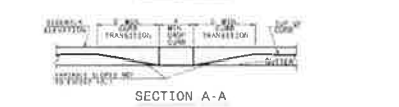
NOTES:
1. DETECTABLE WARNING DOME SHALL COVER 1' x 1' AREA AND 1/2" DEPTH OF THE CURB AND GUTTER. DETECTABLE WARNING DOME SHALL BE 1/2" DEEP AND 1/2" WIDE.
2. DETECTABLE WARNING DOME SHALL BE 1/2" DEEP AND 1/2" WIDE.
3. DETECTABLE WARNING DOME SHALL BE 1/2" DEEP AND 1/2" WIDE.



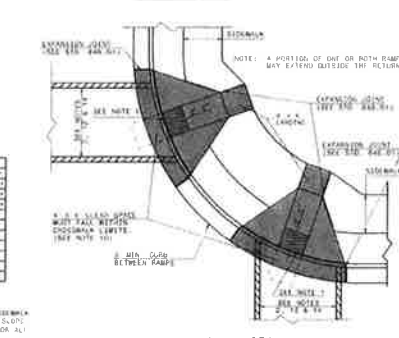
DETECTABLE WARNING DOME



SECTION B-B



SECTION A-A

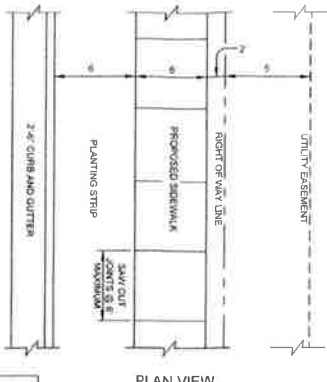


PLAN VIEW

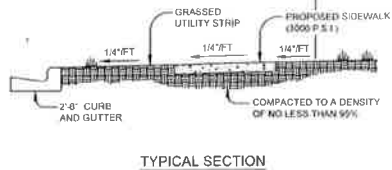
STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CURB RAMP
PROPOSED CURB AND GUTTER

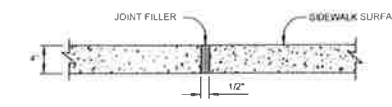
SHEET 1 OF 3
846.05



PLAN VIEW



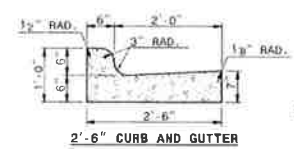
TYPICAL SECTION



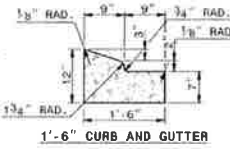
TRANSVERSE EXPANSION JOINT

NOTES:
1. TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
2. ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
3. A 6 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS AT STREET INTERSECTIONS ALONG THE LENGTH OF RADIUS CURB RETURNS AND IN THE HANDICAP RAMPS.

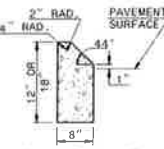
CITY OF RALEIGH
STANDARD DETAIL
CONCRETE SIDEWALK
T-30.01



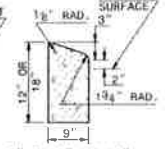
2'-6" CURB AND GUTTER



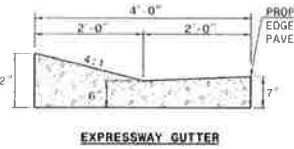
1'-6" CURB AND GUTTER



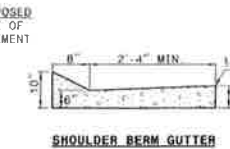
8" X 12" OR 18" CONCRETE CURB



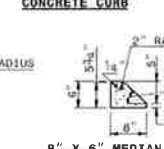
9" X 12" OR 18" CONCRETE CURB



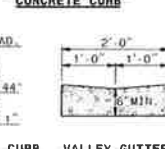
EXPRESSWAY GUTTER



SHOULDER BERM GUTTER



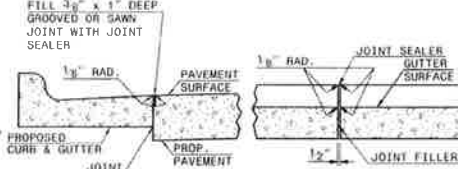
8" X 6" MEDIAN CURB



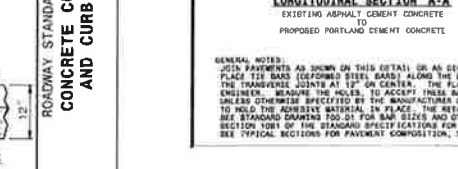
VALLEY GUTTER

SECTION VIEW OF CURBS OR CURBS AND GUTTERS

GENERAL NOTES:
1. PLACE CONSTRUCTION JOINTS AT 10' INTERVALS, EXCEPT THAT A 15' SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10' INTERVALS.
2. JOINT SPACING MAY BE ALTERED IF REQUIRED BY THE ENGINEER.
3. CONSTRUCTION JOINTS MAY BE INSTALLED WITH THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS.
4. CONSTRUCT NON-TEMPLATE FORMED JOINTS A MIN. OF 1 1/2" DEEP.
5. FILL ALL CONSTRUCTION JOINTS, EXCEPT IN 8" X 6" MEDIAN CURB, WITH JOINT FILLER AND SEALER.
6. SPACE EXPANSION JOINTS AT 90' INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



LONGITUDINAL JOINT IN CURB AND GUTTER



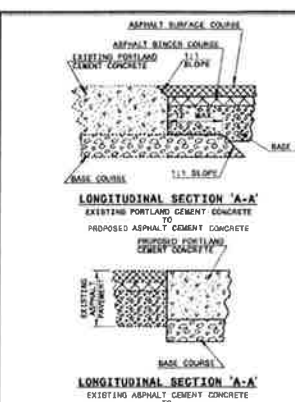
TRANSVERSE EXPANSION JOINT IN CURB AND GUTTER

SECTION VIEW OF JOINTS

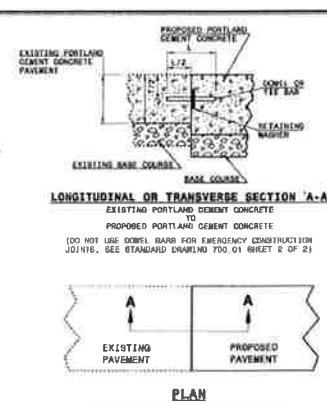
STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
CONCRETE CURB, GUTTER
AND CURB & GUTTER

SHEET 1 OF 3
846.01



LONGITUDINAL SECTION 'A-A'



LONGITUDINAL OR TRANSVERSE SECTION 'A-A'



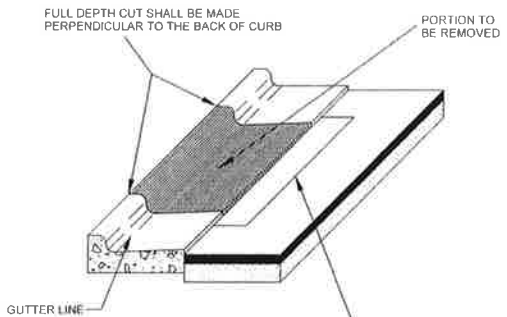
PLAN

GENERAL NOTES:
1. JOINT PAVEMENTS AS SHOWN ON THIS DETAIL OR AS DIRECTED BY THE ENGINEER.
2. PLACE THE BARS (FORMED STEEL BARS) ALONG THE LONGITUDINAL JOINTS AT 24" ON CENTER. PLACE CONCRETE BARS (FORMED STEEL BARS) ALONG THE TRANSVERSE JOINTS AT 12" ON CENTER. THE PLACEMENT AND/OR SPACING OF THE BARS MAY BE MODIFIED BY THE PLANS OR THE ENGINEER. REINFORCE THE JOINTS WITH BARS. THE BARS SHALL BE PLACED ON OR UNDER THE SURFACE OF THE BARS PLUS 1" UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER OF THE ADHESIVE. USE RETAINING BARS (WYOM, PLASTIC OR COMPOSITE) ON ALL BARS TO HOLD THE ADHESIVE MATERIAL IN PLACE. THE RETAINING BARS SHALL BE 1/2" DIA. OR 1/4" DIA. PLUS 1" UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER OF THE ADHESIVE. PROVIDE ADHESIVE BONDING MATERIAL SPECIFIED BY SECTION 1001 OF THE STANDARD SPECIFICATIONS FOR TYPE 3 OR 5A ADHESIVE.
3. SEE TYPICAL SECTIONS FOR PAVEMENT COMPOSITION, SUMMARY OF QUANTITIES AND FOR OTHER SPECIFIC INFORMATION.

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
TYPING PROPOSED PAVEMENT
TO EXISTING PAVEMENT

SHEET 1 OF 3
700.05



IF THE FINAL LIFT OF ASPHALT HAS BEEN INSTALLED AND IS DAMAGED DURING CURB REMOVAL, A ONE FOOT WIDE SECTION OF ASPHALT SHOULD BE SAWCUT AND REMOVED FOR FORMS TO BE USED TO KEEP A STRAIGHT EDGE ON THE DRIVEWAY APRON REINSTALL HOT MIX SURFACE ASPHALT PATCH S9 58

IF THE FINAL LIFT OF ASPHALT HAS NOT BEEN INSTALLED THE ASPHALT IN FRONT OF THE APRON CAN REMAIN IN PLACE

NOTES:
1. CURB AND GUTTER SECTION SHALL BE REMOVED IN ACCORDANCE WITH DRIVEWAY WIDTH APPROVED BY THE CITY.
2. IF PERPENDICULAR CUT IS LESS THAN 1' FROM NEXT JOINT THEN THE PARALLEL CUT SHALL BE MADE TO THAT JOINT.
3. THIS METHOD IS NOT ALLOWED IN NEW ROADWAY CONSTRUCTION.

CITY OF RALEIGH
STANDARD DETAIL
REVISIONS: DATE: 6/2/08 NOT TO SCALE
STANDARD METHOD OF REMOVING EXISTING CURB (FOR A DRIVEWAY APRON INSTALLATION)
T-10.24



Bateman Civil Survey Company
Engineers • Surveyors • Planners
2524 Bellanca Avenue, Apex, North Carolina 27539
Phone: 919.677.0800 Fax: 919.677.1061
NCBELS FIRM No. C-2378



ELIZABETH SPRINGS
CONSTRUCTION DRAWINGS
1205 AVERETTE ROAD
WAKE FOREST, NC 27587
WAKE COUNTY, NC

SITE/NC DOT DETAILS

Project Engineer: TSS
Designed By: WNB
Drawn By: WNB
Checked By: TSS
Scale: NTS

Project Number: 170348

SHEET
C802

PRELIMINARY
NOT RELEASED
FOR CONSTRUCTION
01/29/2020

